

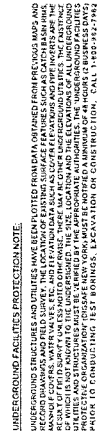
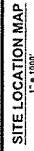
ALTAMONT ZONING BOARD OF APPEALS
Regular Meeting Agenda
November 28, 2023

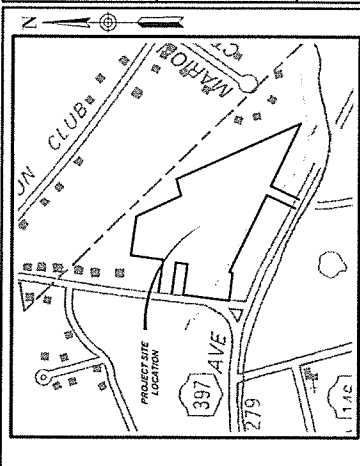
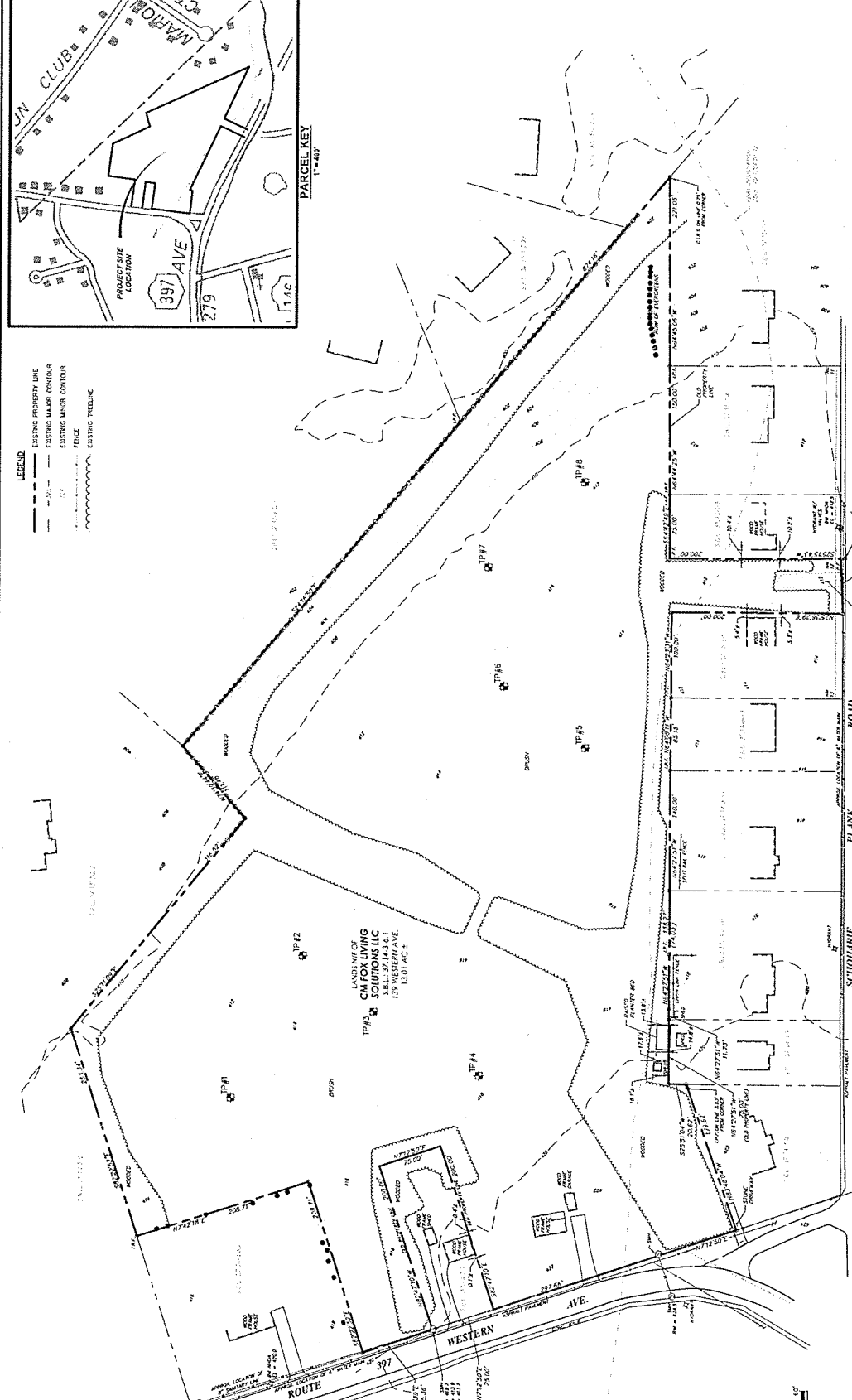
1. Open meeting - State time and that the meeting is being recorded and where the exit signs are located.
2. Topic & Discussion: Review of most recent subdivision plans from CM Fox Living Solutions LLC (Troy Miller) for Major Subdivision. Property at S.B.L. 37.14-3-6.1.
3. Other Business: _____

4. Review of Minutes from September 26, 2023 meeting of the Zoning Board of Appeals.
Consider Motion: To approve minutes.
5. Consider Motion to Adjourn Meeting. Meeting Adjourned at Time: _____
6. Next ZBA Meeting dates, if needed: December 19, 2023 and January 23, 2024.

**DECEMBER, 2022
REVISED NOVEMBER, 2023**

SITE STATISTICS:	
OWNER/APPLICANT:	CM FOX LIVING SOLUTIONS LLC 2050 WESTERN AVE. GUILDERLAND, NY 12084
SITE ADDRESS:	139 WESTERN AVE. ALBANY NY, 12009
PARCEL NUMBER:	37-14-2-4-1
PARCEL AREA:	13.517 AC
EXISTING ZONING:	R15 - RESIDENTIAL
EXISTING USE:	SINGLE FAMILY RESIDENTIAL / VACANT
PROPOSED USE:	11- LOT MAJOR RESIDENTIAL SUBDIVISION

[illegible]



LEGEND
--- EXISTING PROPERTY LINE
--- EXISTING MAJOR CONTIGUOUS
--- EXISTING MINOR CONTIGUOUS
--- FENCE
--- EXISTING TRAILING

PARCEL KEY
1-1000
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100-1000

EXISTING CONDITIONS PLAN

CM FOX LIVING SOLUTIONS LLC

MAJOR SUBDIVISION

NEW YORK STATE

ALBANY COUNTY

S&L 3714-14-1

121 WEST 14TH ST

ALBANY, NY 12202

DATE: 11/14/23

BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/14/23

BY: [Signature]

CHECKED BY: [Signature]

ADJOINING OWNERS TABLE

S&L	DEED REF.	OWNER NAME
3714-14-1	BC 3174 P2 31	VERNON, WILLIAM R. ESTATE
3714-14-2	BC 3174 P2 32	BLANCKLEY, MATTHEW & MARTIN
3714-14-3	BC 3174 P2 33	COMMON, JOSEPH JAYAL
3714-14-4	BC 3174 P2 34	COMMON, JESSICA THERESA
3714-14-5	BC 3174 P2 35	WELSH, ANTHONY & JACQUELINE
3714-14-6	BC 3174 P2 36	WELSH, ANTHONY & JACQUELINE
3714-14-7	BC 3174 P2 37	SPAIN, NEE R.
3714-14-8	BC 3174 P2 38	HYPRICH, JUSTIN BLAKE

ADJOINING OWNERS TABLE (CONT)

S&L	DEED REF.	OWNER NAME
3714-14-9	BC 3174 P2 39	JOHNSON, LINDA E. ESTATE
3714-14-10	BC 3174 P2 40	FOX, BECKHAM J.
3714-14-11	BC 3174 P2 41	WAGNER, MARK E.
3714-14-12	BC 3174 P2 42	FORMAN, SCOTT J & SHARON P.
3714-14-13	BC 3174 P2 43	FOX, DAVID JAMES
3714-14-14	BC 3174 P2 44	JOHNSON, LINDA E. ESTATE
3714-14-15	BC 3174 P2 45	FOX, BECKHAM J.
3714-14-16	BC 3174 P2 46	WAGNER, MARK E.
3714-14-17	BC 3174 P2 47	FORMAN, SCOTT J & SHARON P.
3714-14-18	BC 3174 P2 48	FOX, DAVID JAMES
3714-14-19	BC 3174 P2 49	JOHNSON, LINDA E. ESTATE
3714-14-20	BC 3174 P2 50	FOX, BECKHAM J.
3714-14-21	BC 3174 P2 51	WAGNER, MARK E.
3714-14-22	BC 3174 P2 52	FORMAN, SCOTT J & SHARON P.
3714-14-23	BC 3174 P2 53	FOX, DAVID JAMES
3714-14-24	BC 3174 P2 54	JOHNSON, LINDA E. ESTATE
3714-14-25	BC 3174 P2 55	FOX, BECKHAM J.
3714-14-26	BC 3174 P2 56	WAGNER, MARK E.
3714-14-27	BC 3174 P2 57	FORMAN, SCOTT J & SHARON P.
3714-14-28	BC 3174 P2 58	FOX, DAVID JAMES
3714-14-29	BC 3174 P2 59	JOHNSON, LINDA E. ESTATE
3714-14-30	BC 3174 P2 60	FOX, BECKHAM J.
3714-14-31	BC 3174 P2 61	WAGNER, MARK E.
3714-14-32	BC 3174 P2 62	FORMAN, SCOTT J & SHARON P.
3714-14-33	BC 3174 P2 63	FOX, DAVID JAMES
3714-14-34	BC 3174 P2 64	JOHNSON, LINDA E. ESTATE
3714-14-35	BC 3174 P2 65	FOX, BECKHAM J.
3714-14-36	BC 3174 P2 66	WAGNER, MARK E.
3714-14-37	BC 3174 P2 67	FORMAN, SCOTT J & SHARON P.
3714-14-38	BC 3174 P2 68	FOX, DAVID JAMES
3714-14-39	BC 3174 P2 69	JOHNSON, LINDA E. ESTATE
3714-14-40	BC 3174 P2 70	FOX, BECKHAM J.
3714-14-41	BC 3174 P2 71	WAGNER, MARK E.
3714-14-42	BC 3174 P2 72	FORMAN, SCOTT J & SHARON P.
3714-14-43	BC 3174 P2 73	FOX, DAVID JAMES
3714-14-44	BC 3174 P2 74	JOHNSON, LINDA E. ESTATE
3714-14-45	BC 3174 P2 75	FOX, BECKHAM J.
3714-14-46	BC 3174 P2 76	WAGNER, MARK E.
3714-14-47	BC 3174 P2 77	FORMAN, SCOTT J & SHARON P.
3714-14-48	BC 3174 P2 78	FOX, DAVID JAMES
3714-14-49	BC 3174 P2 79	JOHNSON, LINDA E. ESTATE
3714-14-50	BC 3174 P2 80	FOX, BECKHAM J.
3714-14-51	BC 3174 P2 81	WAGNER, MARK E.
3714-14-52	BC 3174 P2 82	FORMAN, SCOTT J & SHARON P.
3714-14-53	BC 3174 P2 83	FOX, DAVID JAMES
3714-14-54	BC 3174 P2 84	JOHNSON, LINDA E. ESTATE
3714-14-55	BC 3174 P2 85	FOX, BECKHAM J.
3714-14-56	BC 3174 P2 86	WAGNER, MARK E.
3714-14-57	BC 3174 P2 87	FORMAN, SCOTT J & SHARON P.
3714-14-58	BC 3174 P2 88	FOX, DAVID JAMES
3714-14-59	BC 3174 P2 89	JOHNSON, LINDA E. ESTATE
3714-14-60	BC 3174 P2 90	FOX, BECKHAM J.
3714-14-61	BC 3174 P2 91	WAGNER, MARK E.
3714-14-62	BC 3174 P2 92	FORMAN, SCOTT J & SHARON P.
3714-14-63	BC 3174 P2 93	FOX, DAVID JAMES
3714-14-64	BC 3174 P2 94	JOHNSON, LINDA E. ESTATE
3714-14-65	BC 3174 P2 95	FOX, BECKHAM J.
3714-14-66	BC 3174 P2 96	WAGNER, MARK E.
3714-14-67	BC 3174 P2 97	FORMAN, SCOTT J & SHARON P.
3714-14-68	BC 3174 P2 98	FOX, DAVID JAMES
3714-14-69	BC 3174 P2 99	JOHNSON, LINDA E. ESTATE
3714-14-70	BC 3174 P2 100	FOX, BECKHAM J.

DEED REFERENCE

1. DEED DATED OCTOBER 22, 2022 FROM MARY & MICHAEL, BY/CA/MARY & MICHAEL, TRUSTEE OF THE IRREVOCABLE TRUST AGREEMENT OF MARY & MICHAEL TO CM FOX LIVING SOLUTIONS LLC AND THE ALBANY COUNTY CLERK'S OFFICE ON DECEMBER 14, 2022 AS AMENDMENT NO. 2021-37826.

SURVEY NOTES:

1. SURVEY COMPILED BY STEPHEN P. WALRATH, L.S. LAND SURVEYING AND LAND PLANNING IN AUGUST, 2022.

2. CONTIGUOUS AREAS OWNED BY THE FOX LIVING SOLUTIONS LLC COMPANIES (FOX, MAZE) - EAST ZONE, AS DETERMINED BY GPS OBSERVATIONS AT THE TIME OF THE FIELD SURVEY.

3. VERTICAL DATUM IS BASED ON NAVD 83.

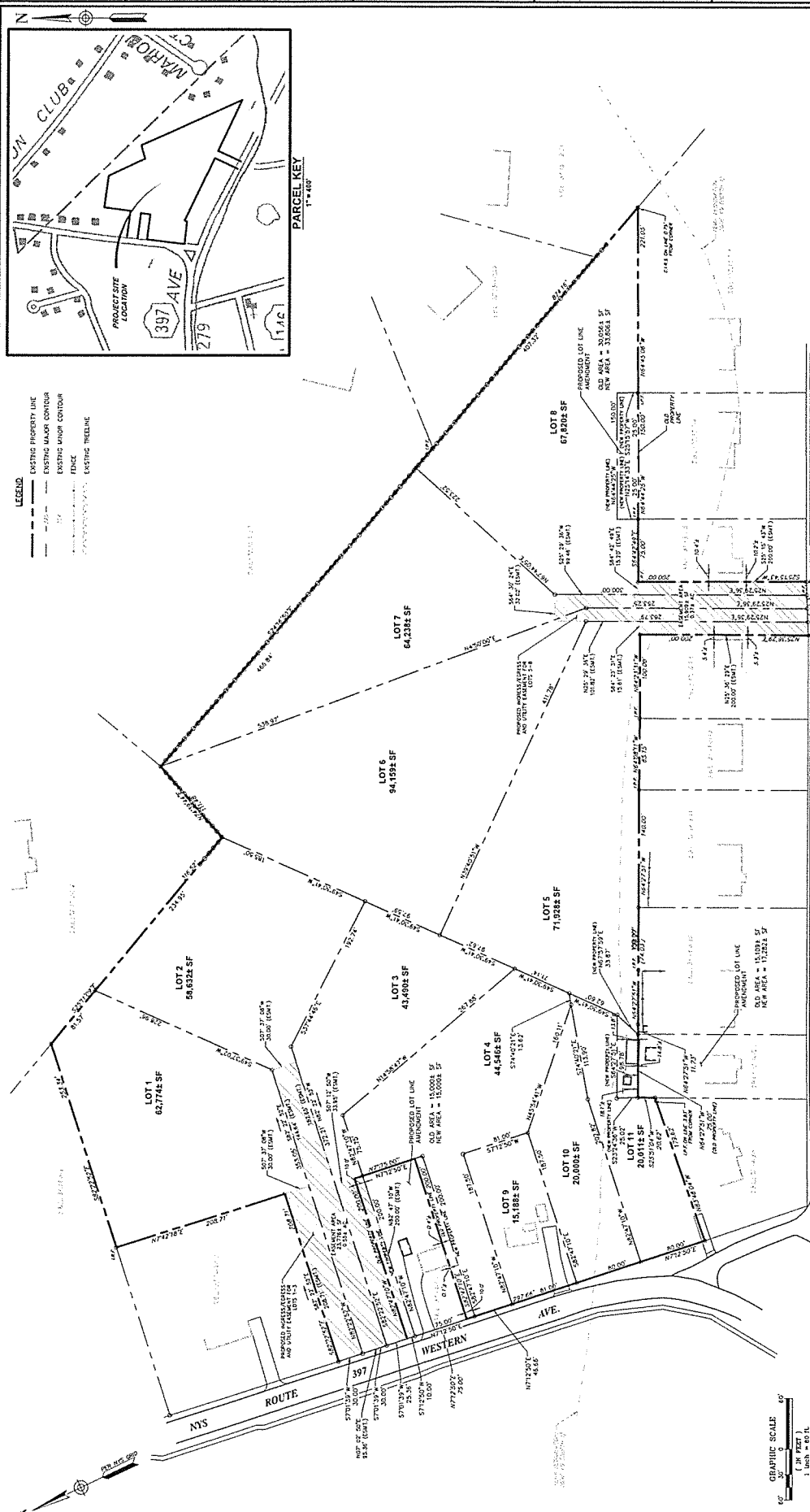
4. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD AND ANY STATE OF FACTS UP TO DATE THIS REPORT WILL SHOW.

5. SURVEY SHOWN IS SUBJECT TO ANY SUBSEQUENT CONDITIONS THAT MAY EXIST, IF ANY.

6. FIELD SURVEY WAS CONDUCTED IN THE PRESENCE OF THE ALBANY COUNTY CLERK'S OFFICE AND THE ALBANY COUNTY CLERK'S OFFICE HAS REVIEWED THE SURVEY AND HAS DETERMINED THAT THE SURVEY IS CORRECT AND ACCURATE.

7. ALL UNDERLYING UTILITIES AND STRUCTURES TO BE NOTED BY THE ALBANY COUNTY CLERK'S OFFICE AND THE ALBANY COUNTY CLERK'S OFFICE HAS REVIEWED THE SURVEY AND HAS DETERMINED THAT THE SURVEY IS CORRECT AND ACCURATE.

8. THE SURVEY IS BASED ON THE ALBANY COUNTY CLERK'S OFFICE RECORDS AND THE ALBANY COUNTY CLERK'S OFFICE HAS REVIEWED THE SURVEY AND HAS DETERMINED THAT THE SURVEY IS CORRECT AND ACCURATE.



LOT TABLE		
LOT #	AREA (SF)	AREA (AC)
LOT 1	62,774.2	1.441
LOT 2	58,532.2	1.332
LOT 3	41,608.2	0.947
LOT 4	44,548.2	1.022
LOT 5	71,124.2	1.613
LOT 6	54,199.2	1.238
LOT 7	64,238.2	1.472
LOT 8	67,820.2	1.582
LOT 9	15,188.2	0.352
LOT 10	20,000.2	0.462
LOT 11	20,011.2	0.462

KEY/NOTE LOT NOTES (CONT.)

7. THE LOT AREA SHALL BE THE TOTAL AREA OF THE LOT, INCLUDING THE AREA OF ANY ADJACENT LOT THAT IS SEPARATED BY A FENCE OR OTHER PHYSICAL BARRIER, AND SHALL BE THE TOTAL AREA OF THE LOT, INCLUDING THE AREA OF ANY ADJACENT LOT THAT IS SEPARATED BY A FENCE OR OTHER PHYSICAL BARRIER, AND SHALL BE THE TOTAL AREA OF THE LOT, INCLUDING THE AREA OF ANY ADJACENT LOT THAT IS SEPARATED BY A FENCE OR OTHER PHYSICAL BARRIER.

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SUBDIVISION REGULATION NOTES:

1. MAXIMUM GRADE TO BE 1% WITH THE EXCEPTION OF INTERSECTING ROADS.

2. MAXIMUM GRADE TO BE 0.5%.

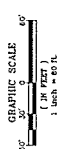
3. MAXIMUM GRADE OF FRONT-UP-WAY AT INTERSECTION TO BE 2%.

4. MAXIMUM GRADE OF FRONT-UP-WAY AT INTERSECTION TO BE 2%.

5. MAXIMUM GRADE OF FRONT-UP-WAY AT INTERSECTION TO BE 2%.

6. MAXIMUM GRADE OF FRONT-UP-WAY AT INTERSECTION TO BE 2%.

7. MAXIMUM GRADE OF FRONT-UP-WAY AT INTERSECTION TO BE 2%.



DATE: 11/15/2022
DRAWN BY: J. WALKER
CHECKED BY: J. WALKER
SCALE: AS SHOWN

CM FOX LIVING SOLUTIONS LLC
MAJOR SUBDIVISION
SUBDIVISION PLAT

ALBANY COUNTY
NEW YORK STATE

STEPHEN P. WALKER, L.L.S.
122 MAIN STREET, P.O. BOX 181
ALBANY, NY 12202
TEL: 518-486-1212
FAX: 518-486-1213
WWW.SPEP.COM

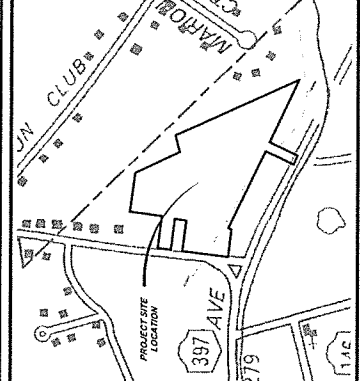
WILLIAM H. SMART
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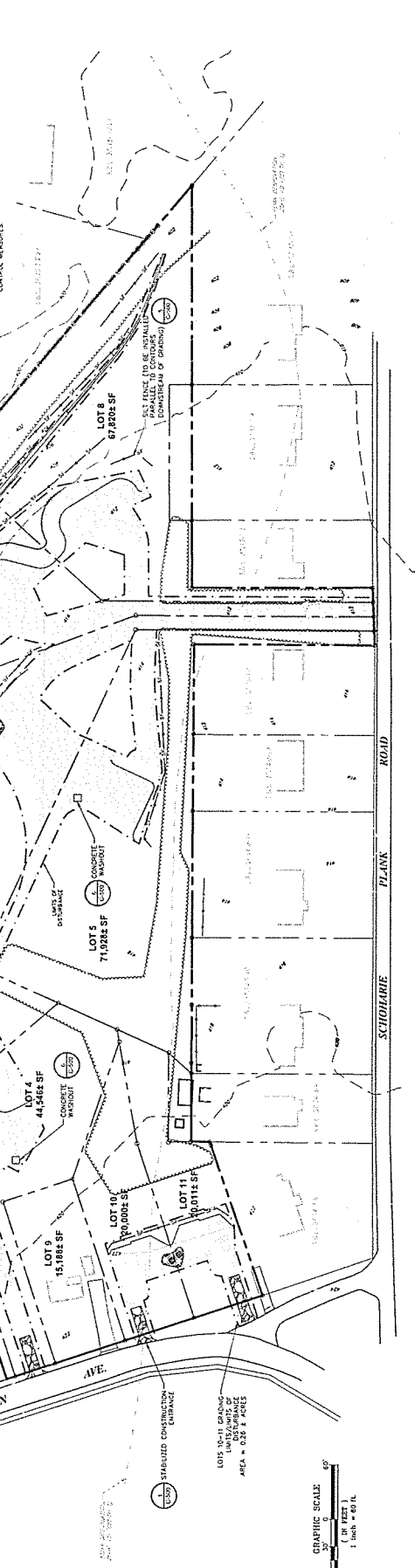
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PARCEL KEY
1"=40'

- CONSTRUCTION SEQUENCE:
1. OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS TO INSTALL EROSION CONTROL MEASURES. VARIANCES FROM PERMITS OR LOCAL ORDINANCES SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
 2. ALL CONSTRUCTION ACTIVITIES SHALL BE CONFINED WITHIN THE PROJECT BOUNDARIES. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.
 3. INSTALL ALL EROSION CONTROL MEASURES AND SCHEDULE MAINTENANCE MEETINGS.
 4. MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 5. STABILIZE ALL AREAS COMPLETED TO FINISH GRADE, COMPLETE CONSTRUCTION OF PERMANENT EROSION CONTROL MEASURES, AND REMOVE TEMPORARY EROSION CONTROL MEASURES.
 6. OBTAIN SIGNOFF FROM STATEWATER INSPECTOR AND REMOVE TEMPORARY EROSION CONTROL MEASURES.



GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.)

1. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE TO PREVENT EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.
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MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.)

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.)

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.)

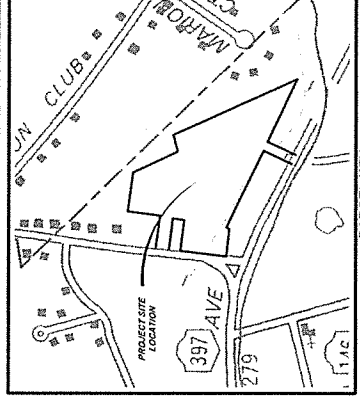
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MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.)

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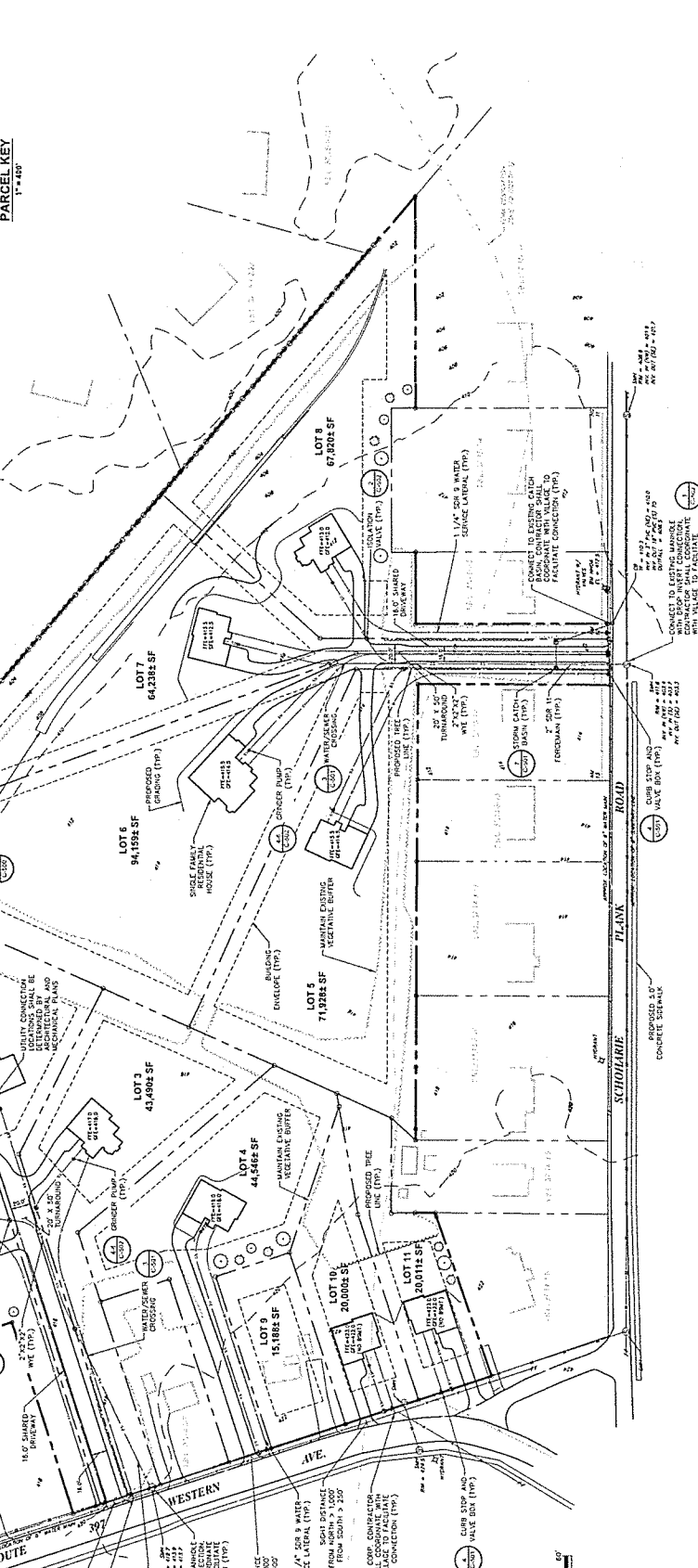
MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.)

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING.



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	FENCE
---	EXISTING WETLINE



SITE IMPACT TABLE

DESIGNATION	AREA (AC)
TOTAL PROJECT WORK AREA	13.91
TOTAL AREA DISTURBED	3.18
TOTAL IMPERVIOUS	1.05

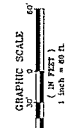
STOPPING SIGHT DISTANCE

DESIGN SPEED (MPH)	MIN. STOPPING SIGHT DISTANCE (FT)
25	155
35	200
35	250

LANDSCAPING TABLE

PLANTING HEIGHT	BOTANICAL NAME	COMMON NAME
8'-8"	PHILUS RHIZA	AUSTRIAN PINE
8'-8"	ACER SACCHARUM	SUGAR MAPLE
8'-8"	PIKEABIES	NORWAY SPRUCE

- NOTES:
- 2" SEWER FOREMAN (DESIGNED FOR MANUFACTURE'S RECOMMENDATIONS IN ACCORDANCE WITH NYSDOT)
 - UTILITY CONNECTIONS FOR ELECTRIC AND GAS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITIES AND SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY OF THE BOUNDARY OF LOT.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY, FOREMAN, AND WATER MAINS WITHIN THE PROJECT AREA AND SHALL BE RESPONSIBLE FOR ANY NECESSARY ADJUSTMENTS.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER MAINS AND ADJUST ANY NECESSARY ADJUSTMENTS TO THE PROJECT AREA.
 - UTILITY LATERALS WITHIN EXISTING AREA FOR SHARED DRIVEWAY LOT SHALL BE INSTALLED WITHIN THE PROJECT AREA AND SHALL BE RESPONSIBLE FOR ANY NECESSARY ADJUSTMENTS.
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE FOLLOWING DAYS AND HOURS: 7 AM TO 5 PM MONDAY THROUGH SATURDAY.



DRAWN BY

CHECKED BY

DATE

SCALE

PROJECT

DATE

11/15/2021

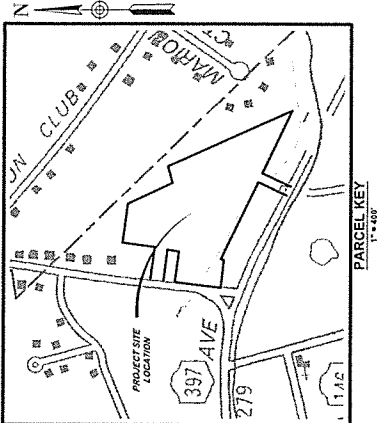
STATE OF ALBANY	ALBANY COUNTY	NEW YORK STATE
CM FOX LIVING SOLUTIONS LLC		
MAJOR SUBDIVISION		
S.E.L. 10-14-16-1		
11/15/2021		

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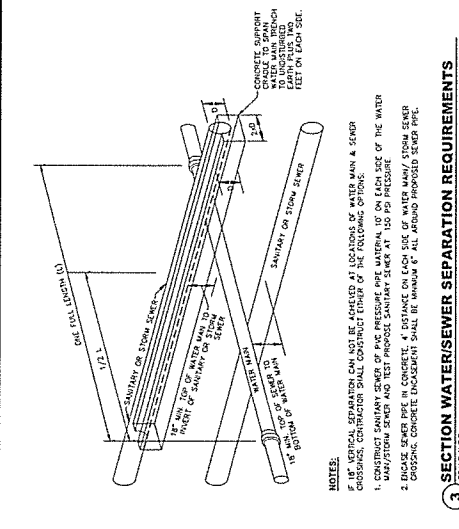
STEPHEN P. WALRATH, L.S.
122 MAIN STREET P.O. BOX 381
ALBANY, NY 12209
TEL: 518-862-1122
FAX: 518-862-1123
WWW.SPEL.COM
ALBANY COUNTY, NEW YORK
REGISTERED PROFESSIONAL ENGINEER
NO. 12106
(518) 857-7270
A PROFESSIONAL ENGINEERING FIRM
WILLIAM H. SMART
ENGINEERING, PLLC

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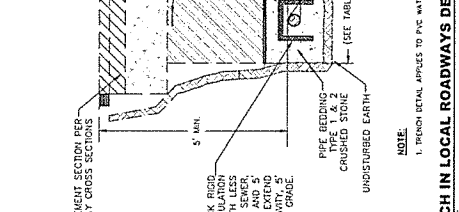


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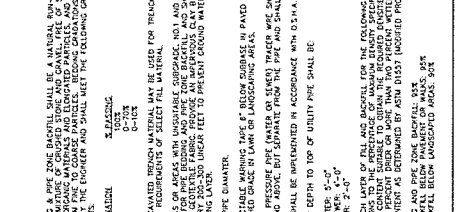
NOTES:

1. ALL FITTINGS AND PARTS SHALL MEET THE RULES AND REGULATIONS OF THE VILLAGE OF ALBANY.
2. WATER SERVICE SHALL BE 1-INCH TYPE K COPPER.
3. CORROSION RESISTANT VALVES SHALL BE USED IN ALL WATER SERVICE LATERALS.
4. CURB VALVES SHALL BE 1/2-INCH NON-DRINKING WATER VALVES WITH 1/2-INCH NON-DRINKING WATER VALVE BODY AND 1/2-INCH NON-DRINKING WATER VALVE HANDLE.
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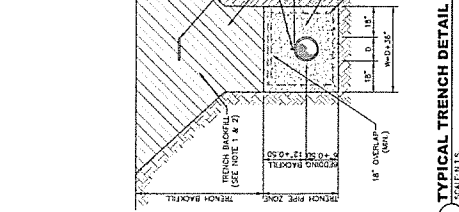
NOTES:

1. THE COMPLETE FORCE MAIN INCLUDING VALVES, FITTINGS, CONNECTIONS TO PUMPS AND OTHER PRESSURE SYSTEMS SHALL BE TESTED FOR LEAKAGE.
2. THE SYSTEM SHALL BE PRESSURIZED TO 150 PSI. THE PRESSURE SHALL BE MAINTAINED FOR 2 HOURS. THE PRESSURE SHALL NOT DECREASE MORE THAN 2 PSI DURING THE TEST.
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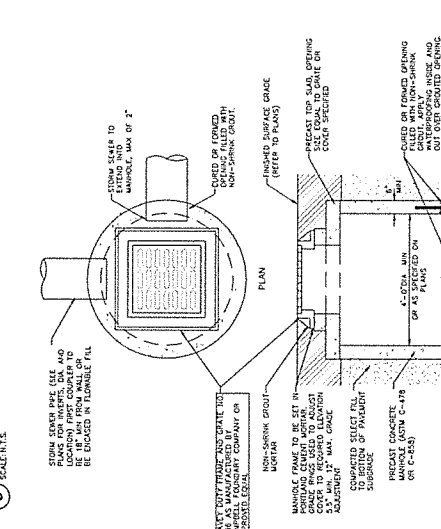
NOTES:

1. ALL PRECAST CONSTRUCTION IN ACCORDANCE WITH A-278.
2. CATCH BASIN SHALL BE PRECAST CONCRETE DESIGNED FOR H-20 VEHICULAR LOADING.
3. FRAME AND GRATE SHALL BE DESIGNED FOR H-20 VEHICULAR LOADING.
4. CONCRETE CATCH BASIN LID CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
5. THE CONCRETE BASE SHALL BE PROVIDED WITH STAYS.
6. BASINEL USING SELECT BASEFILL COMPACTED IN 6\"/>



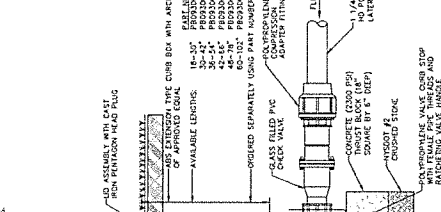
NOTES:

1. CONTRACTOR SHALL VERIFY LATERAL SIZE AND CONNECT TO NEW PVC SDR 11 SANITARY SEWER WITH WYE FITTING AND ELBOWS AS REQUIRED.
2. NEW SEWER LATERAL TO PROPERTY LINE. CONTRACTOR SHALL VERIFY LATERAL SIZE AND CONNECT TO EXISTING LATERAL WITH STRAIGHT COUPLING.
3. TRENCH DEPTH AND LOCATION VARIES.
4. 45\"/>



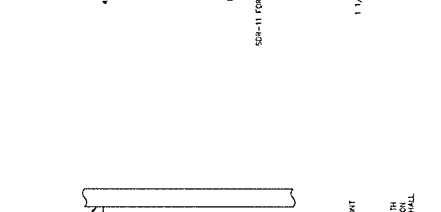
NOTES:

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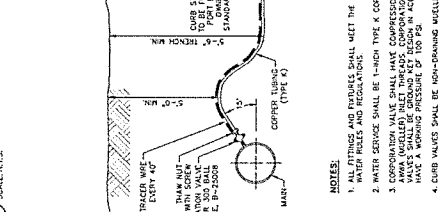
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UTILITY DETAILS

CM FOX LIVING SOLUTIONS LLC

MAJOR SUBDIVISION

ALBANY COUNTY

NEW YORK STATE

DATE 11/14/23

DESIGNED BY WME

CHECKED BY WME

SCALE 1\"/>

SECTION WATERSEWER SEPARATION REQUIREMENTS

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SECTION WATERSEWER SEPARATION REQUIREMENTS

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SCALE: 1\"/>

SECTION WATERSEWER SEPARATION REQUIREMENTS

SCALE: 1\"/>

DATE: 11/14/23
JOB #: 27992
SCALE: AS SHOWN
SURVEYED BY: SPW
DRAWN BY: NGA
CHECKED BY: WHG
DWG. NO.

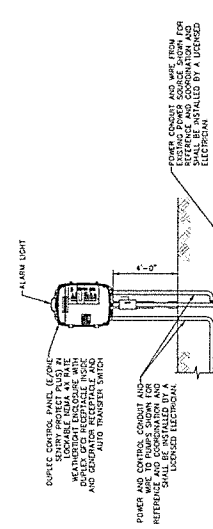
OFFICE DETAILS	MAJOR SUBDIVISION	ALBANY COUNTY	NO.
	100 WESTERN AVE. SHELTON, CT 06484		

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2	4-20-20	SUMP PUMP TANK CURT	Y01	SPW
3	11-14-20	NEW PUMP TANK CURT	Y01	SPW

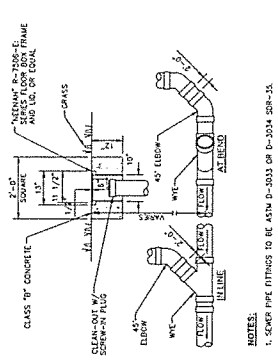
EPHEN P. WALRATH, L.S.
LAND SURVEYING & LAND PLANNING
122 MAIN STREET, P.O. BOX 381
ALBANY, NY 12209
TEL. 518-866-0125
WILLIAM H. SMART
ENGINEERING, PLLC
8 CRESTONE DRIVE
WOOLHEESVILLE, NEW YORK 12186
(518) 857-2720

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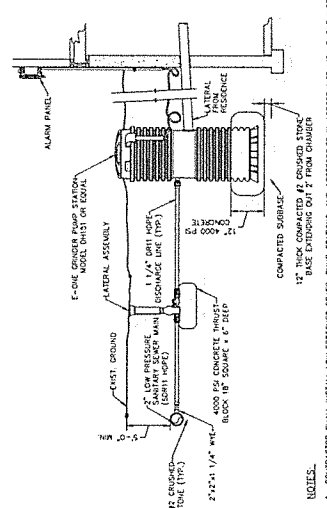
6 GRINDER PUMP STATION CONTROL/ALARM PANEL DETAIL



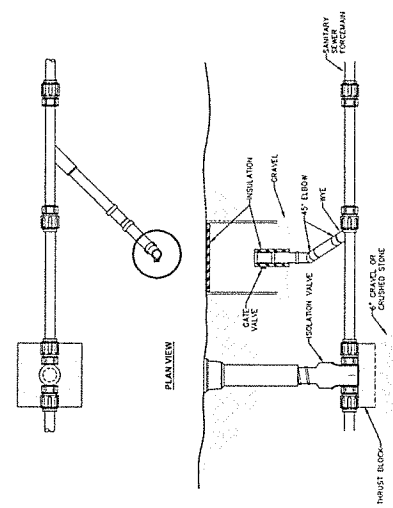
3 SEWER CLEAN OUT DETAIL
CONCRETE



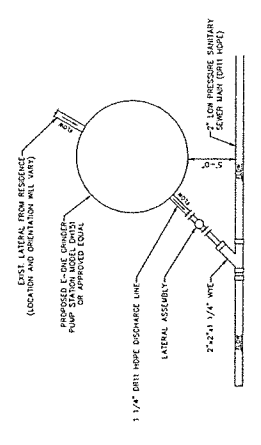
5. GRINDER PUMP STATION CONNECTION ELEVATION VIEW



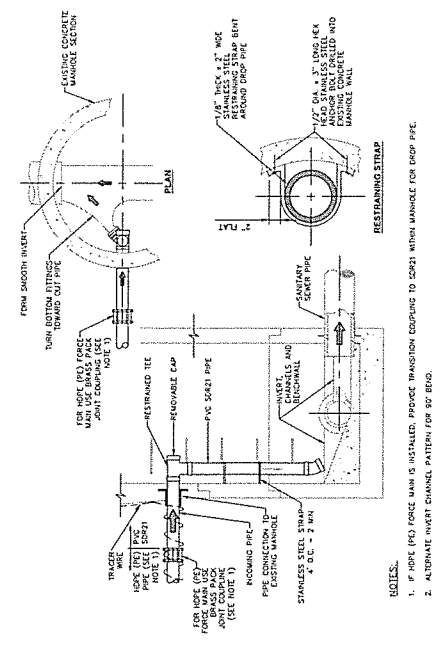
2 IN-LINE FLUSHING ASSEMBLY



4 GRINDER PUMP STATION CONNECTION PLAN VIEW



1 DROP CONNECTION TO EXISTING MANHOLE
SCALE: N.T.S.





November 20, 2023

Honorable Kerry Dineen, Mayor
and Board of Trustees
Village of Altamont
115 Main Street
Altamont, New York 12009

Re: CM 11 Lot Subdivision Project-comment letter

File: 895.038.001

Dear Mayor Dineen:

We have reviewed the plans submitted last week for the subject project per our scope of services and offer the following comments.

General:

1. Confirm the intentions with the ZBA for providing pedestrian accommodation's; (1) sufficient escrow for sidewalks, (2) or providing a constructed sidewalk on West Schoharie Plank Road (WSP), and a crosswalk at the west end of WSP over to an existing sidewalk as discussed during our site walk-through on September 21, 2023. We recommend the crosswalk across from the westerly end of WSP be constructed whether a sidewalk is constructed or just escrowed to enable to improve connection to sidewalk across Western Avenue as discussed during our site visit.
2. Applicant shall submit draft maintenance agreements regarding common driveway maintenance, snow removal, drainage, lawn mowing and related to the Village Attorney for review. We have made previous comments related to the initial draft agreements submitted. See below.
3. Confirm if the Village is interested in posting a lower speed limit on WSP, such as 10 MPH given its narrowness.
4. Confirm a basement is not proposed for Lot # 1 due to proximity to wetland.
5. Landscaping plan seems minimal with quantity and only three varieties. It does not provide for screening trees or shrubs near existing properties adjacent to the project on lots 1, 3, 4, 5, 6, 7 and 8. See comments below.
6. Include landscaping as part of sheet C-130 title.



7. We assume no exterior site lighting is proposed farther than 40' from the house on the larger lots (over 1 acre) and any proposed lighting should go through Village building inspector for review. Comply with all Village and NYS building codes.
8. Project detailing for driveways able to support fire apparatus and drainage at driveways need additional information, see below.

Plans:

Sheet-C-001-Cover:

1. Add landscaping to sheet C130 title on cover and layout and Utilities Plan.

Sheet C-002-Notes:

1. Sewer notes number 4 indicates a check valve in the basement while plans and detail indicates an exterior grinder pump installation. The pump typically has an integral check valve inside the pump station and use of the E-1 lateral kit comes with another check valve at the curb box. Redundant check valves help ensure pumped sewage does not enter back into the houses if one fails open. Please clarify inside or exterior installation.
2. Under water notes please re-word note 4 regarding that expansion of the work area is within project property limits by 10' from adjacent property(s) to ensure retention of existing vegetation.

Sheet C-110-Subdivision Plat

1. Note 11 mentions driveway construction for 50,000 lbs. fire truck. Plans need to indicate which driveways this applies to regardless of length.

Sheet C-120-Erosion & sediment Control Plan:

1. What are Geo-technical engineer recommendations mentioned in note 4 of Construction Sequence? Include in plans if pertinent.

Sheet C-130-Landscaping, layout & Utilities Plan:

1. Label all proposed contours.
2. Indicate proposed drainage swale end elevations at north and south ends adjacent to Marion Court property lines. Northerly channel needs a weir elevation to discharge.



3. Where are the rain gardens previously discussed to receive roof drainage on each of the lots? Their storage value was intended to offset increases of impervious area from development in this sensitive area. The smallest lots could have smaller rain gardens.
4. Drainage of the property generally runs from west to east (Western towards Marion). There are no provisions for driveway culverts or consistent swales shown on the grading plans that allow runoff conveyance or avoidance or run-on drainage from one property to another except at lots 7 and 8.
5. During site walk-through provision of underground stormwater chambers were discussed near the end of swale on lot 1 to infiltrate some runoff. Please provide (4 sections) of 12" high PE chambers below ditch invert connected by grated vertical pipe 3" above bottom of swale.
6. Add notes to retain existing trees to provide screening and minimize area of disturbance. This applies to all lots.
7. Widen out discharge end of eastern swale through lots 7 and 8. Contour 402 should be 20' wide at end on lot 8. We recommend mixing some wildflower seed mix with grass seed for this 20'x10' end area for providing an erosion resistant vegetated area at discharge.
8. Provide screening shrubs/moderate sized trees/vegetation along driveways and houses on lots 1, 3, 4, 10, and 11 on the Western Ave. side. Provide screening with smaller species of conifers along driveways for lots 5, 6, 7 and 8 accessing WSP. Provide side yard trees for lots 5 to buffer new house location and add more than shown for lot 8. Screening for existing properties is important.
9. Add a 45 degree bend at sewer manhole connection that directs discharge to outlet pipe as opposed to perpendicular to flow to reduce splatter and odors.
10. Where are provisions of drainage for low area west of WSP driveways and connection to existing catch basin discussed during walk-through?

Sheet C-140-Reserved for Site Plan and Profiles:

1. Provide detail of driveways showing crowned sub-grade, materials, depths, compaction and all needed to construct that supports a 50,000 lbs. fire truck.
2. Provide a profile of each driveway that considers drainage, culverts and conveyance of runoff. Show water and sewer laterals with appropriate cover as already detailed.
3. Slope is minimal across central part of property and conveyance of drainage is a challenge. Consider shallow swales leading to multiple 8-10-inch driveway culverts under driveway grades.



4. Consider raising finished grade of homes to allow positive drainage and reduced basement pumping of groundwater.

Sheet C-500-Erosion and Sediment Control Details:

1. Where/what is seed mix A for detail 3?
2. For detail 7 (drainage swale) we recommend 1 vertical: 3 horizontal side-slope to less erodible than 1:2 shown.
3. Is there a more resilient grass seed mix than just rye grass that could be more heat and erosion resistant for detail 7?

Sheet C-501:

1. Add sanitary sewer force Main note 8 in detail 1 regarding minimum cover.
2. Clarify intent of note 1 in detail 5 regarding lid 12" below grade.

Sheet C-502:

1. For detail 2 (in-line flushing assembly) what is nature of insulated lid and ability to withstand wheel loads? What is R-value to keep the piping from freezing? Dimension component depths and depth of gravel.
2. Consider ball valves in lieu of gate valves.
3. What is intended for cap?

If you have any questions, please feel free to contact me at your convenience.

Sincerely,

BARTON & LOGUIDICE, D.P.C.

Bradley D. Grant
Senior Project Manager

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Honorable Kerry Dineen, Mayor
Village of Altamont
November 20, 2023
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