

ALTAMONT ZONING BOARD OF APPEALS
Regular Meeting Agenda
February 27, 2024
Altamont Community Room – 7:00 p.m.

1. Open meeting - State time and that the meeting is being recorded and where the exit signs are located.
2. Topic & Discussion: Review of most recent subdivision plans from CM Fox Living Solutions LLC (Troy Miller) for Major Subdivision. Property at S.B.L. 37.14-3-6.1.
3. Other Business: _____

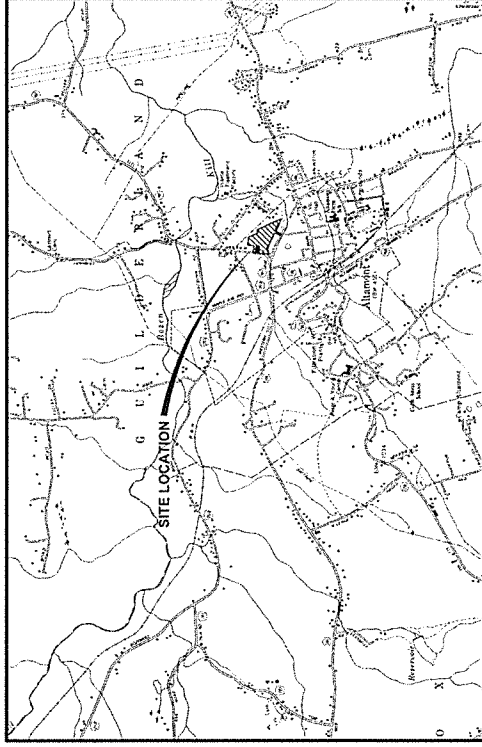
4. Review of Minutes from November 28, 2023 meeting of the Zoning Board of Appeals.
Consider Motion: To approve minutes.
5. Consider Motion to Adjourn Meeting. Meeting Adjourned at Time: _____
6. Next ZBA Meeting dates, if needed: March 26 and April 23, 2024.

**LANDS OF CM FOX LIVING SOLUTIONS LLC
MAJOR SUBDIVISION**

**139 WESTERN AVENUE
VILLAGE OF ALTAMONT
ALBANY COUNTY, NEW YORK**

**DECEMBER, 2022
REVISED FEBRUARY, 2024**

Sheet List Table			
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION	
1	COVER	C-001	
2	NOTES	C-002	
3	EXISTING CONDITIONS PLAN	C-100	
4	SUBDIVISION PLAN	C-110	
5	EROSION & SEDIMENT CONTROL PLAN	C-120	
6	LAYOUT, UTILITIES & LANDSCAPING PLAN	C-130	
7	GRADING & DRAINAGE PLAN	C-140	
8	PLAN & PROFILE	C-150	
9	DRIVEWAY CROSS SECTIONS	C-300	
10	EROSION & SEDIMENT CONTROL DETAILS	C-500	
11	UTILITY DETAILS	C-601	
12	UTILITY DETAILS	C-502	



<u>SITE STATISTICS:</u>	OWNER/APPLICANT:	CM FOX LIVING SOLUTIONS LLC 204 WESTERN AVE. GUILDERLAND, NY 12084
	SITE ADDRESS:	133 WESTERN AVE. ALBANY NY, 12209
	PARCEL NUMBER:	37.142-6.1
	PARCEL AREA:	13.01 ± AC
	EXISTING ZONING:	R15 - RESIDENTIAL
	EXISTING USE:	SINGLE FAMILY RESIDENTIAL / VACANT
	PROPOSED USE:	11- LOT MAJOR RESIDENTIAL SUBDIVISION

[illegible]

EXISTING CONDITIONS PLAN
CM FOX LIVING SOLUTIONS LLC
MAJOR SUBDIVISION
139 WESTERN AVE.
SHELTON, CT 06484
ALBANY COUNTY
NEW YORK STATE

[illegible]

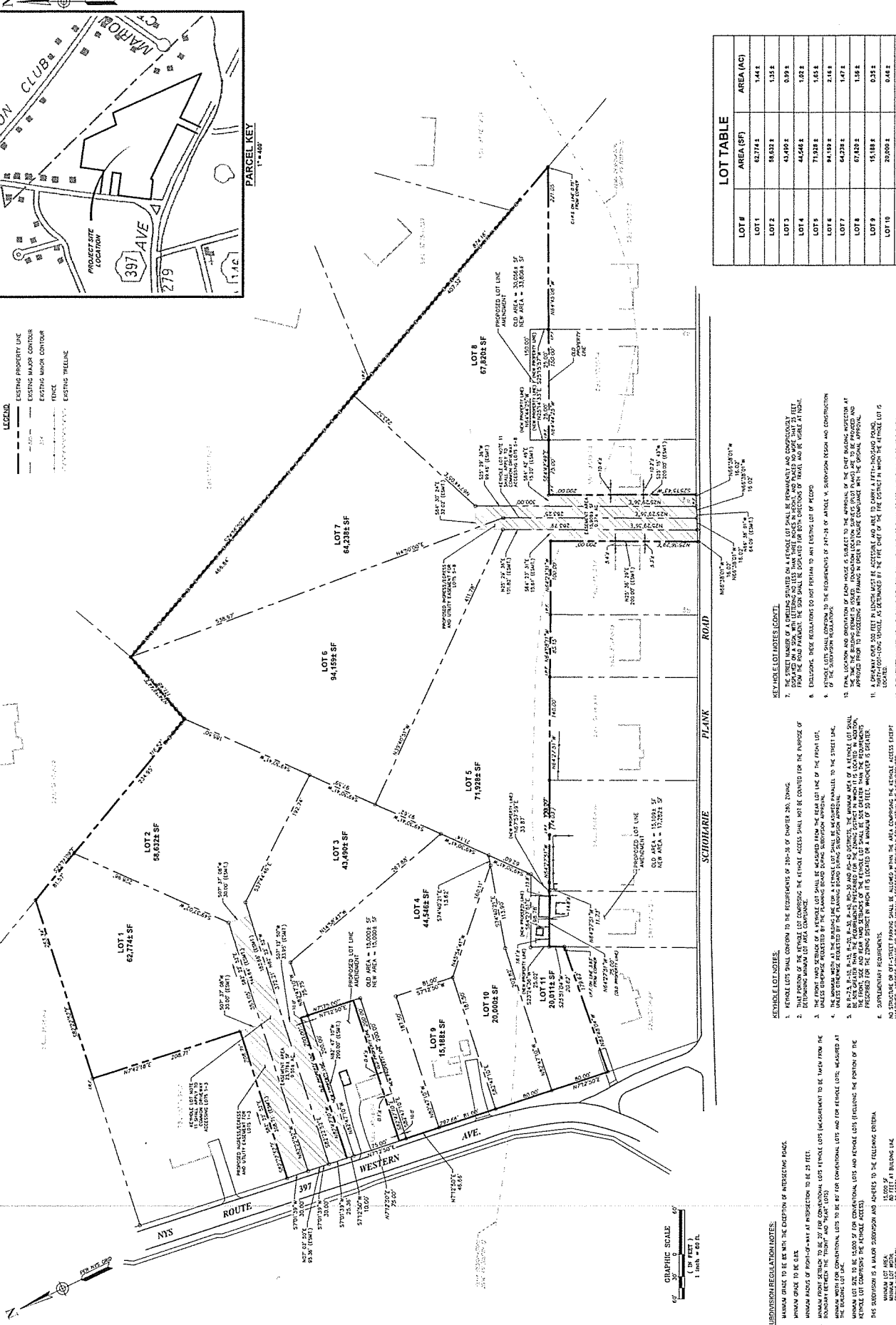
ADJOINING OWNERS TABLE			ADJOINING OWNERS TABLE (CONT)		
S.B.L.	DEED REF.	OWNERS NAME	S.B.L.	DEED REF.	OWNERS NAME
37-14-22	BP 230-12-136	OWENS, WILLIAM A & LUCIE N	37-15-14	BP 244-10-131	JOHNSON, KYLE E & DEBORAH M L
37-14-23	BP 230-12-138	BLAKESLEY, NANCY ANN & RAYMOND P	37-15-14	BP 244-10-130	POE, BRADLEY A
37-14-24	BP 230-12-140	COMBES, JACQUELYNE A & L L	37-15-23	BP 247-10-131	REYNOLDS, JAMES L
37-15-22	BP 230-12-139	COMBES, JACQUELYNE A & L L	37-15-23	BP 247-10-130	TERMINO, EUGENE J & BERNICE P
37-15-23	BP 230-12-141	COMBES, JACQUELYNE A & L L	37-16-23	BP 247-10-131	PELCHER, DAVID JAMES
37-15-24	BP 230-12-142	MEARS, ANTHONY & JACQUELINE	37-16-23	BP 247-10-130	ADAMS, LARRY R & BATHURNE
37-16-22	BP 230-12-143	WELLS, ANTHONY & JACQUELINE	37-16-23	BP 247-10-131	BUCKETT, CHRISTOPHER D
37-16-23	BP 230-12-144	SPAWN, KYLE R	37-16-24	BP 247-10-130	BUCKETT, CHRISTOPHER D
37-16-24	BP 230-12-145	HEMBERTON, JOHN E & KARE	37-16-24	BP 247-10-131	CASPER, ANTHONY

1. SURVEY COMPLETED BY JENNIFER P. MELVIN, L.S. LAND SURVEYING AND LAND PLANNING IN AUGUST, 2022.
2. NORTH ORIENTATION BASED ON THE NEW YORK STATE PLATE COORDINATE SYSTEM (NACS) - EAST ZONE, AS ESTABLISHED BY GAS CORPORATION AT THE TAIL OF THE FIELD SECT.
3. ALL STATE OF RECORD LOTS UP TO DATE TAIL SECTOR HAVE SOWN.
4. SWEPTED FROM RECORD DESCRIPTION AND IS IN POSSESSION.
5. VERTICAL DATUM IS BASED ON NAVD 83.
6. SURVEY SHOWN IS SUBJECT TO ANY SUBSEQUENT CONDITIONS THAT MAY PERTAIN, IF ANY.
7. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES INCLUDING THE RESULT OF A DISTURBANCE OF WHICH NO RECORD IS COVERED BY THE UNDERGROUND LOTS AND LOCATION OF WHICH NO RECORD IS COVERED BY THE UNDERGROUND LOTS MUST BE NOTED PRIOR TO CONDUCTING TEST BORINGS, EXPLORATION AND CONSTRUCTION.

CONCLUDING TEST BORINGS, EXPLORATION AND CONSTRUCTION.

1. READ RECORD FOR THE ADJACENT OF WATER W/UNDERGROUND LOT FOR TOWN LIVING SEASIDE LOTS AND
2. READ RECORD FOR THE ADJACENT OF WATER W/UNDERGROUND LOT FOR TOWN LIVING SEASIDE LOTS AND
3. READ RECORD FOR THE ADJACENT OF WATER W/UNDERGROUND LOT FOR TOWN LIVING SEASIDE LOTS AND

IN THE ADJACENT CLIENT'S OFFICE ON OCTOBER 14, 2023 AS IN INSTRUCTIONS NO.



LOT TABLE		
LOT #	AREA (SF)	AREA (AC)
LOT 1	62,274.1	1.441
LOT 2	58,632.2	1.352
LOT 3	43,490.2	0.992
LOT 4	46,546.1	1.022
LOT 5	71,928.2	1.652
LOT 6	84,139.8	2.182
LOT 7	64,239.1	1.472
LOT 8	87,740.2	1.982
LOT 9	15,118.2	0.352
LOT 10	29,809.1	0.682
LOT 11	29,011.2	0.662

THE STREET NUMBER OF A DWELLING OPERATED ON A SIGN WITH LETTERS FROM THE ROAD PAVEMENT, THE SIGN EXCLUSIONS, THESE REGULATIONS DO NOT APPLY TO ANY OF THE FOLLOWING:

1. A SIGN SHALL CONFORM TO THE SIGNIFICATION REGULATIONS.
2. FINAL LOCATION AND ORIENTATION OF THE SIGN SHALL BE DETERMINED AT THE TIME THE BUILDING PERMIT IS APPROVED PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. A DWELLY OVER 500 FEET IN LENGTH SHALL BE CONSIDERED AS A THIRTY-FOOT-LONG VEHICLE, AS LOCATED.
4. THE STREET NUMBER OF A DWELLING OPERATED ON A SIGN WITH LETTERS FROM THE ROAD PAVEMENT, THE SIGN EXCLUSIONS, THESE REGULATIONS DO NOT APPLY TO ANY OF THE FOLLOWING:

KEYHOLE LOT NOTES

SUBDIVISION REGULATION NOTES:

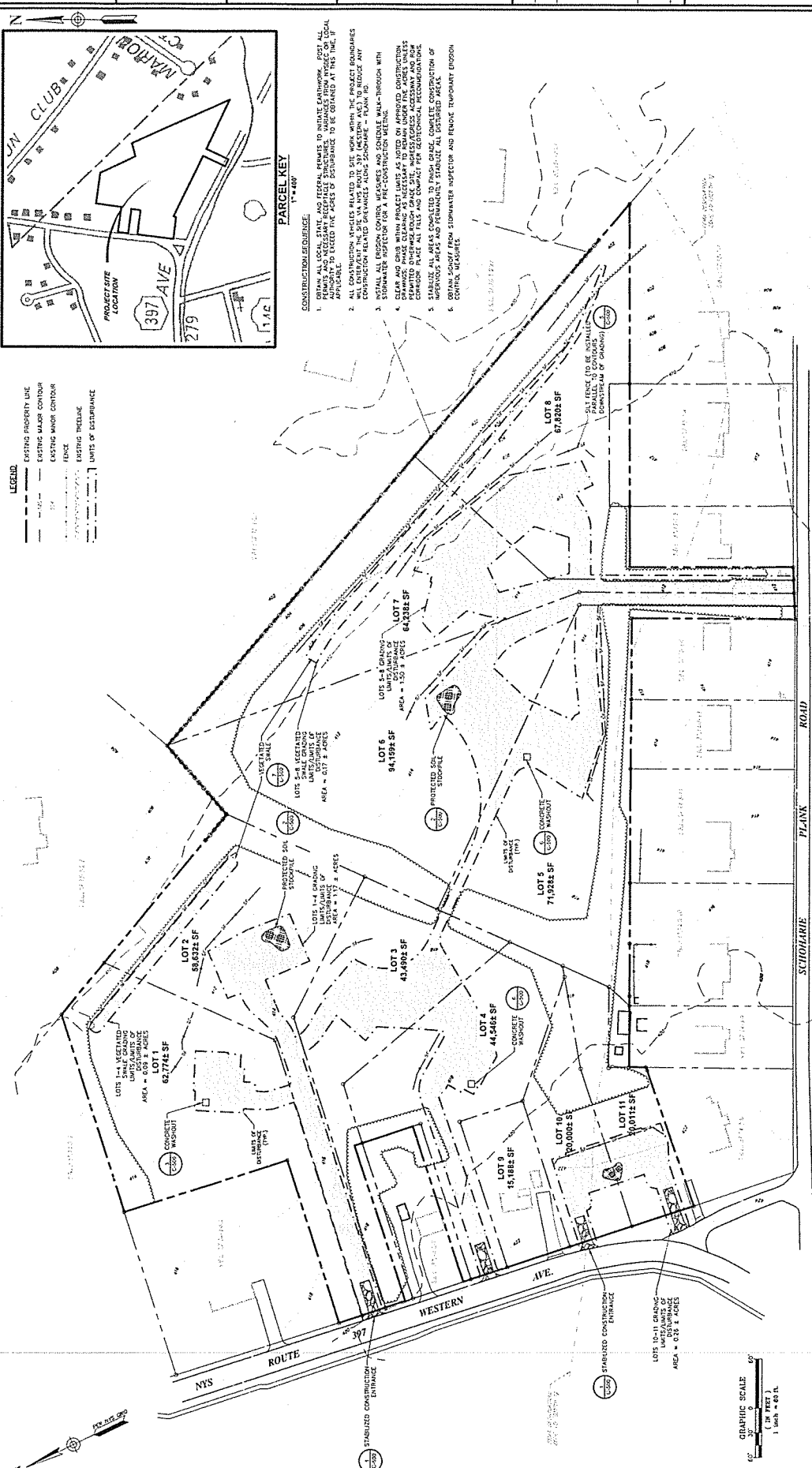
MINIMUM GRADE TO BE EX WITH THE EXCEPTION
MINIMUM GRADE TO BE 0.5%.

MINIMUM PAVES OF RIGHT-OF-WAY AT INTERSECTION

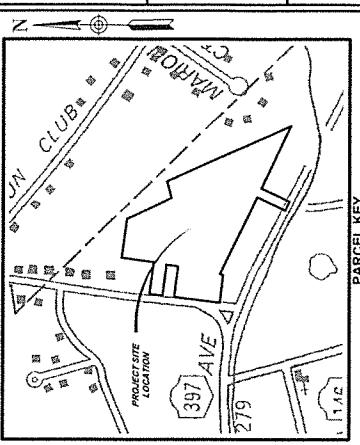
MINIMUM FRONT SETBACK TO BE 20' FOR CONVENTIONAL LOT BETWEEN THE "FRONT" AND "REAR"
MINIMUM WIDTH FOR CONVENTIONAL LOTS TO BE
THE BUILDING LOT LINE.

MINIMUM LOT SIZE TO BE 16,000 SF FOR CONVENTIONAL LOT COMPRESSING THE MINIMUM ACCESS
THIS SUBDIVISION IS A MAJOR SUBDIVISION AND

MINIMUM LOT AREA:
MINIMUM LOT WIDTH:
FRONT YARD SETBACK:
SIDE YARD SETBACK:



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING MAJOR CONTOUR
 - FENCE
 - EXISTING TRENCH
 - UNITS OF DISTANCE



PARCEL KEY
1" = 40'

CONSTRUCTION SEQUENCE

1. OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS TO INSTITUTE EROSION CONTROL MEASURES. POST ALL EROSION CONTROL MEASURES AND MAINTENANCE OF EROSION CONTROL MEASURES. POST ALL EROSION CONTROL MEASURES AND MAINTENANCE OF EROSION CONTROL MEASURES.
2. ALL CONSTRUCTION VEHICLES RELATED TO SITE WORK WITHIN THE PROJECT BOUNDARIES WILL EXCEED THE 10' CLEARANCE LIMITS (SECTION A-E) TO BE OBTAINED AT THE TIME THE PROJECT BOUNDARIES ARE ESTABLISHED.
3. CONSTRUCTION RELATED DISTURBANCES ALONG SCHOHARIE PLANK ROAD - PLANK RD. SHALL BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE.
4. CLEAR AND GRUB WITHIN PROJECT LIMITS AS NOTED ON APPROVED CONSTRUCTION PLANS. ALL CLEARING AND GRUBBING SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION.
5. PERMITTED OVERLAP OF CONSTRUCTION SHALL BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE.
6. OBTAIN SLOTTED TRENCH SLOTTED TRENCH INSPECTION AND REMEDY TRENCH INSPECTION.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
1. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL INSTALL EROSION & SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
 2. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL INSTALL EROSION & SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS.
 4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):**
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 8. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:**
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.):**
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 7. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 8. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES (CONT.):**
9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 11. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 12. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

CM FOX LIVING SOLUTIONS LLC
MAJOR SUBDIVISION
EROSION & SEDIMENT CONTROL PLAN
SHEET 5 OF 10
C-120

STEPHEN P. WALRATH, L.L.C.
ENGINEERING, P.L.C.
WILIAM H. SMART
122 MAIN STREET, P.O. BOX 101
ALBANY, NY 12240
(518) 857-7270

STEPHEN P. WALRATH, L.L.C.
ENGINEERING, P.L.C.
WILIAM H. SMART
122 MAIN STREET, P.O. BOX 101
ALBANY, NY 12240
(518) 857-7270

DATE	21224
TIME	22022
DATE	AS SPEND
RECEIVED BY	SPW
CHECKED BY	WHS

STOPPING SIGHT DISTANCE	
DESIGN SPEED (MPH)	MIN. STOPPING SIGHT DISTANCE (FT.)
25	155
30	200

LANDSCAPING TABLE			
QTY	PLANTING HEIGHT,	BOTANICAL NAME	COMMON NAME
12	6" - 8"	PICEA MARIANA	BLACK SPRUCE
11	6" - 8"	ACER RUBRUM	RED MAPLE

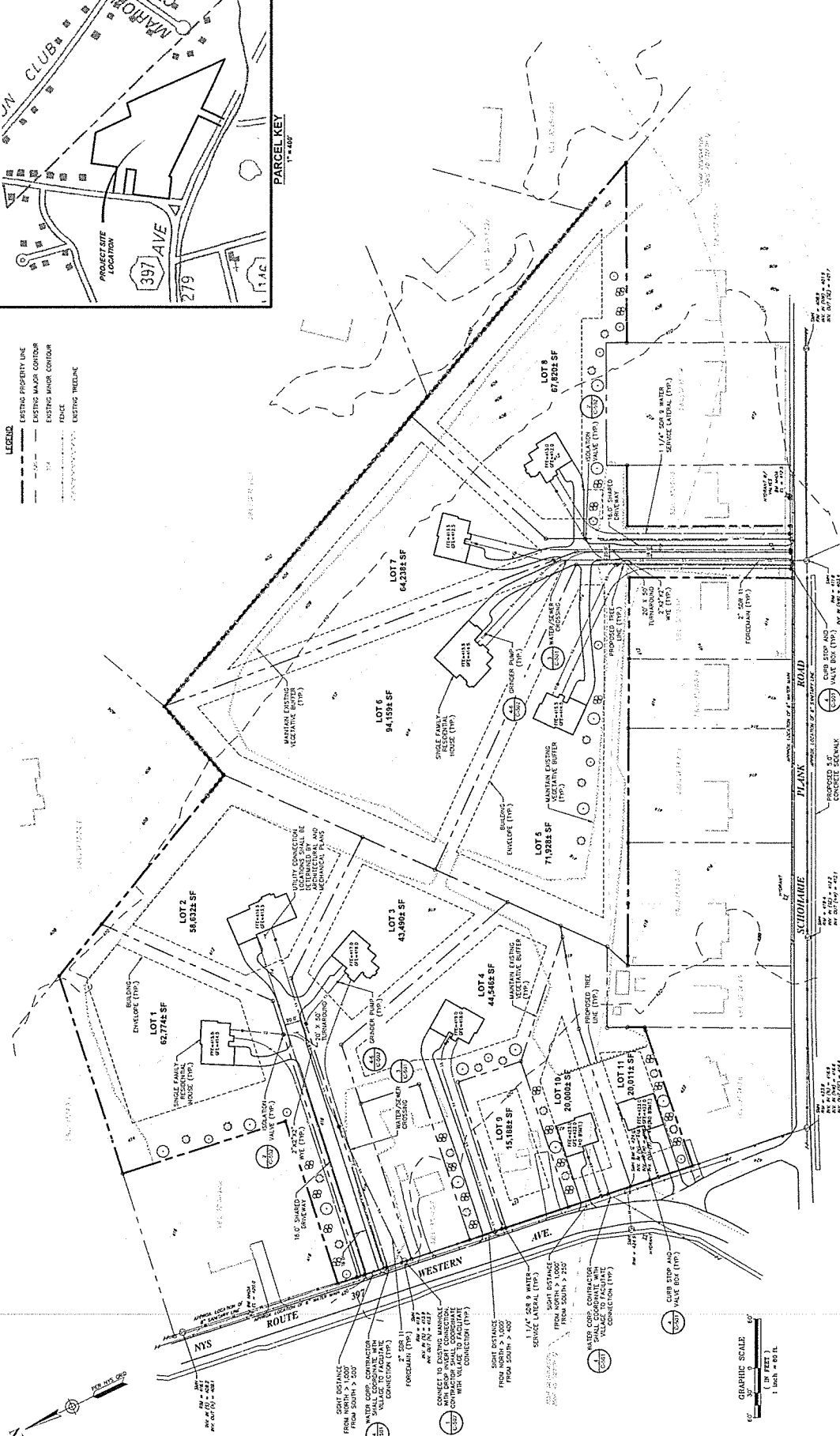
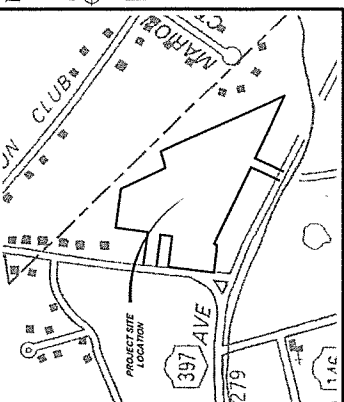
[illegible]

STEVEN F. WALKER, P.L.L.C.
LAND SURVEYING & LAND PLANNING
122 MAIN STREET P.O. BOX 381
ALBANY, NY 12208
TEL. 518-868-0125
WILLIAM H. SMART
ENGINEERING, P.L.L.C.
5 CORTLAND DRIVE
WOODHURST, NY 11793
(516) 867-7373 FAX 12186

2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000	1999	1998	1997	1996	1995	1994	1993	1992	1991	1990	1989	1988	1987	1986	1985	1984	1983	1982	1981	1980	1979	1978	1977	1976	1975	1974	1973	1972	1971	1970	1969	1968	1967	1966	1965	1964	1963	1962	1961	1960	1959	1958	1957	1956	1955	1954	1953	1952	1951	1950	1949	1948	1947	1946	1945	1944	1943	1942	1941	1940	1939	1938	1937	1936	1935	1934	1933	1932	1931	1930	1929	1928	1927	1926	1925	1924	1923	1922	1921	1920	1919	1918	1917	1916	1915	1914	1913	1912	1911	1910	1909	1908	1907	1906	1905	1904	1903	1902	1901	1900	1899	1898	1897	1896	1895	1894	1893	1892	1891	1890	1889	1888	1887	1886	1885	1884	1883	1882	1881	1880	1879	1878	1877	1876	1875	1874	1873	1872	1871	1870	1869	1868	1867	1866	1865	1864	1863	1862	1861	1860	1859	1858	1857	1856	1855	1854	1853	1852	1851	1850	1849	1848	1847	1846	1845	1844	1843	1842	1841	1840	1839	1838	1837	1836	1835	1834	1833	1832	1831	1830	1829	1828	1827	1826	1825	1824	1823	1822	1821	1820	1819	1818	1817	1816	1815	1814	1813	1812	1811	1810	1809	1808	1807	1806	1805	1804	1803	1802	1801	1800	1799	1798	1797	1796	1795	1794	1793	1792	1791	1790	1789	1788	1787	1786	1785	1784	1783	1782	1781	1780	1779	1778	1777	1776	1775	1774	1773	1772	1771	1770	1769	1768	1767	1766	1765	1764	1763	1762	1761	1760	1759	1758	1757	1756	1755	1754	1753	1752	1751	1750	1749	1748	1747	1746	1745	1744	1743	1742	1741	1740	1739	1738	1737	1736	1735	1734	1733	1732	1731	1730	1729	1728	1727	1726	1725	1724	1723	1722	1721	1720	1719	1718	1717	1716	1715	1714	1713	1712	1711	1710	1709	1708	1707	1706	1705	1704	1703	1702	1701	1700	1699	1698	1697	1696	1695	1694	1693	1692	1691	1690	1689	1688	1687	1686	1685	1684	1683	1682	1681	1680	1679	1678	1677	1676	1675	1674	1673	1672	1671	1670	1669	1668	1667	1666	1665	1664	1663	1662	1661	1660	1659	1658	1657	1656	1655	1654	1653	1652	1651	1650	1649	1648	1647	1646	1645	1644	1643	1642	1641	1640	1639	1638	1637	1636	1635	1634	1633	1632	1631	1630	1629	1628	1627	1626	1625	1624	1623	1622	1621	1620	1619	1618	1617	1616	1615	1614	1613	1612	1611	1610	1609	1608	1607	1606	1605</
------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	--------

LEGEND

	EXISTING PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FENCE
	EXISTING TIELINE



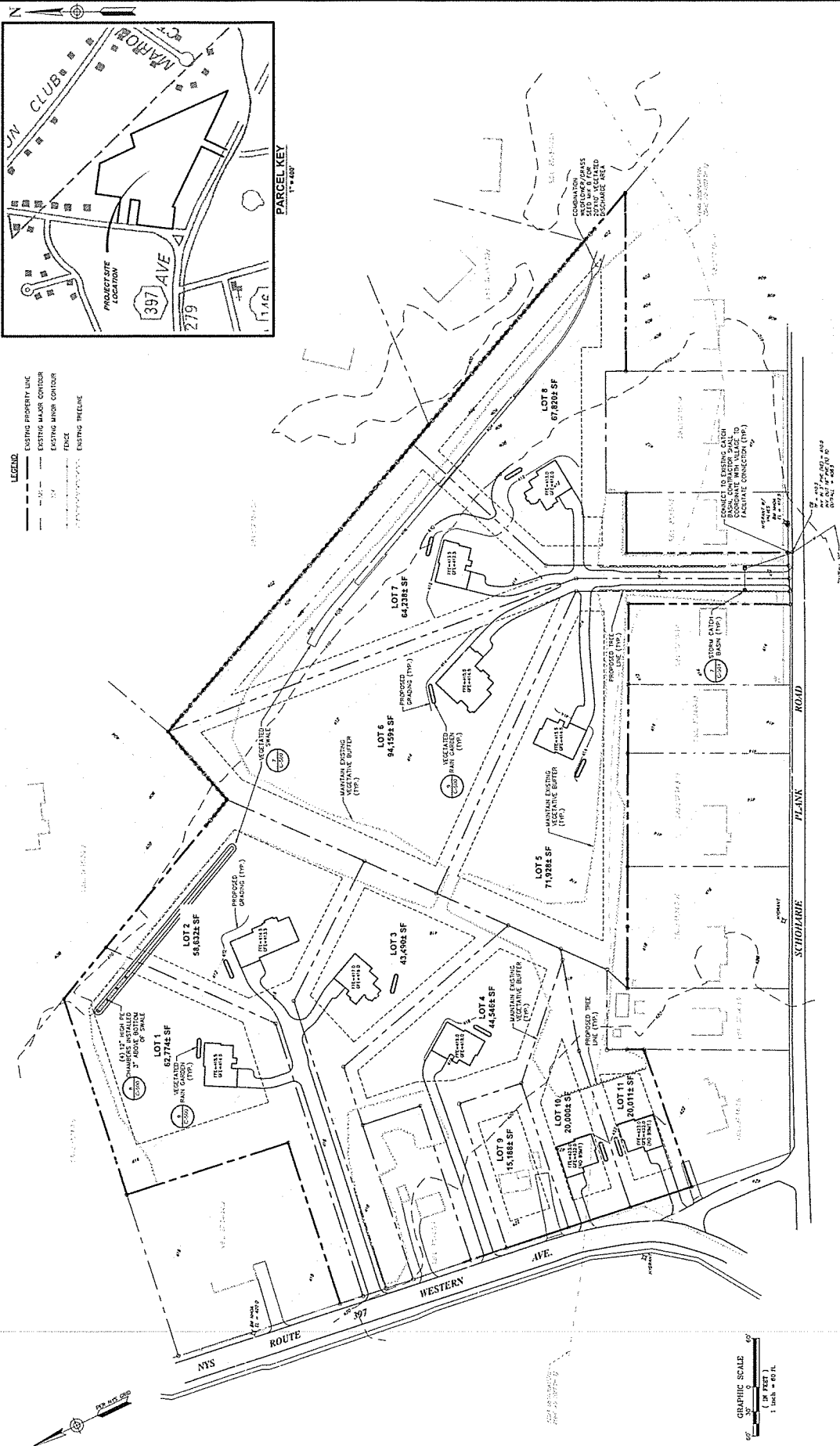
GRAPHIC SCALE
30' 0 60'
(IN FEET)

GRADING & DRAINAGE PLAN	M FOX LIVING SOLUTIONS LLC	MAJOR SUBDIVISION	139 WESTERN AVE. S.W. 37164-6151	ALBANY COUNTY	NEW YORK STATE
-------------------------	----------------------------	-------------------	-------------------------------------	---------------	----------------

[illegible]

WILLIAM H. SMART
ENGINEERING, PLLC
8 GREYSTONE DRIVE
ROCHESTER, NEW YORK 14606
(518) 857-7270

DRAWING COPIED © 2022
UNAUTHORIZED ALTERATION OR
ADDITION TO THIS MAP IS A VIOLATION
OF SECTION 7009, SUBSECTION 2 OF
THE NEW YORK STATE EDUCATION
LAW. ONLY COPIES FROM THE
ORIGINAL SIGNATURE IN RED INK AND
THE EMBOSSED SEAL OF THE
MAPPER SHALL BE CONSIDERED TO
BE TRUE AND VALID COPIES.



STORMWATER MANAGEMENT CONSIDERATIONS:

AMOUNTS OF DISTURBANCE = 318AC1
AREA OF IMPERVIOUS = 108AC1
TOTAL PROJECT AREA = 13.01AC1

NOTES

7. THE WORK PERSONNEL REQUIRED FOR MANUFACTURER'S RECOMMENDATIONS IN THIS SPECIFICATION SHALL BE IN ACCORDANCE WITH SECTION 010500.
8. UTILITY CONNECTIONS FOR ELECTRIC AND GAS SHALL BE COORDINATED WITH THE NATIONAL GAS UTILITIES SHALL BE INSTALLED WHEN PROVIDED EXCEPT FOR THE FOLLOWING:
 - a. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY, FURNACE AND CONDENSATE VENT PIPES WITH VILLAGE DEPARTMENT OF PUBLIC WORKS.
 - b. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER MAINS AND CONDENSATE WITH VILLAGE DEPARTMENT OF PUBLIC WORKS TO FACILITATE CONNECTION.
 - c. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE FOLLOWING DATES AND HOURS: 7 AM TO 4 PM DURING THROUGH SATURDAY.

CM FOX LIVING SOLUTIONS LLC
 MAJOR SUBDIVISION
 130 WESTERN AVE
 NEW YORK, NY 10014
 212.337.1344

PLAN & PROFILE

DATE: 12/15/14
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 DESIGNED BY: J. B. BROWN
 SCALE: 1" = 40' (PLAN), 1" = 4' (PROFILE)

STEPHEN P. WALRATH, L.L.C.
 ENGINEERING, P.C.
 122 MAIN STREET, P.O. BOX 341
 ALBANY, NY 12240
 (518) 881-7270

WILLIAM H. SMART
 ENGINEERING, P.C.
 122 MAIN STREET, P.O. BOX 341
 ALBANY, NY 12240
 (518) 881-7270

JOHN P. WALRATH, L.L.C.
 ENGINEERING, P.C.
 122 MAIN STREET, P.O. BOX 341
 ALBANY, NY 12240
 (518) 881-7270

NO. DATE

1. 12/15/14

2. 12/15/14

3. 12/15/14

4. 12/15/14

5. 12/15/14

6. 12/15/14

7. 12/15/14

8. 12/15/14

9. 12/15/14

10. 12/15/14

REV. DESCRIPTION

1. 12/15/14

2. 12/15/14

3. 12/15/14

4. 12/15/14

5. 12/15/14

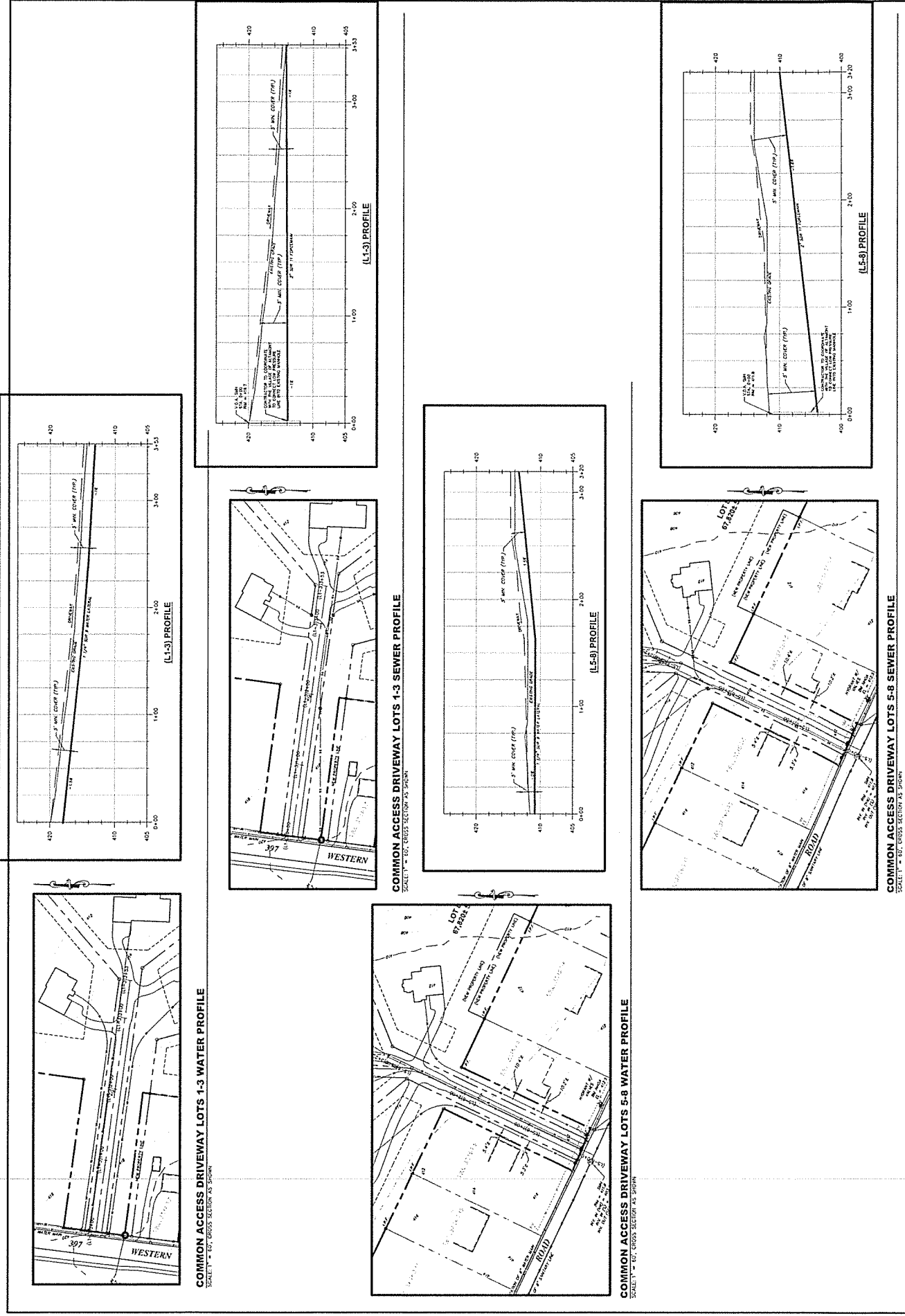
6. 12/15/14

7. 12/15/14

8. 12/15/14

9. 12/15/14

10. 12/15/14



Stephen P. Walrath, L.S.

**Land Surveying & Land Use Planning
Environmental Mapping**

**P.O. Box 381
122 Main Street
Altamont, NY 12009
518-986-0125
email: spwalrath3@gmail.com**

February 13, 2024

Bradley Grant, Senior Project Manager
Barton & Loguidice
10 Airline Dr. Suite 200
Albany, NY 12205

Re: CM Fox 11 Lot Subdivision Project – Comment Letter

Dear Mr. Grant,

We are in receipt of the review letter issued by Barton & Loguidice on November 20, 2023 regarding the Subdivision Review for the above mentioned project. We have reviewed the comments provided and offer the following responses:

1. Confirm the intentions with the ZBA for providing pedestrian accommodation's; (1) sufficient escrow for sidewalks, (2) or providing a constructed sidewalk on West Schoharie Plank Road (WSP), and a crosswalk at the west end of WSP over to an existing sidewalk as discussed during our site walk-through on September 21, 2023. We recommend the crosswalk across from the westerly end of WSP be constructed whether a sidewalk is constructed or just escrowed to enable to improve connection to sidewalk across Western Avenue as discussed during our site visit.

The Village shall decide how to allocate escrowed amount.

2. Applicant shall submit draft maintenance agreements regarding common driveway maintenance, snow removal, drainage, lawn mowing and related to the Village Attorney for review. We have made previous comments related to the initial draft agreements submitted. See below.

Draft maintenance agreements are in progress.

3. Confirm if the Village is interested in posting a lower speed limit on WSP, such as 10 MPH given its narrowness.

Given the existing width and the nature of a dead-end road reducing the speed limit of this section of Schoharie Plank Road would prove negligible.

4. Confirm a basement is not proposed for Lot # 1 due to proximity to wetland.

A basement is proposed for Lot #1, final floor elevation of the proposed house will take into consideration existing conditions.

5. Landscaping plan seems minimal with quantity and only three varieties. It does not provide for screening trees or shrubs near existing properties adjacent to the project on lots 1, 3, 4, 5, 6, 7 and 8. See comments below.

Please see sheet C-130 Layout, Utilities & Landscaping Plan for a revamped landscaping plan.

6. Include landscaping as part of sheet C-130 title.

The sheet C-130 title has been updated.

7. We assume no exterior site lighting is proposed farther than 40' from the house on the larger lots (over 1 acre) and any proposed lighting should go through Village building inspector for review. Comply with all Village and NYS building codes

This assumption is correct, any proposed lighting further than 40' from the house will undergo review from the Village Building inspector.

8. Project detailing for driveways able to support fire apparatus and drainage at driveways need additional information, see below.

Please refer to sheet C-130 Layout, Utilities & Landscaping Plan and C-300 Driveway Cross Sections for common access driveway details.

Plans:

Sheet-C-001-Cover:

1. Add landscaping to sheet C130 title on cover and layout and Utilities Plan.

Please refer to sheet C-130 Layout, Utilities & Landscaping.

Sheet C-002-Notes:

1. Sewer notes number 4 indicates a check valve in the basement while plans and detail indicates an exterior grinder pump installation. The pump typically has an integral check valve inside the pump station and use of the E-1 lateral kit comes with another check valve at the curb box. Redundant check valves help ensure pumped sewage does not enter back into the houses if one fails open. Please clarify inside or exterior installation.

Please refer to sheet C-002 Notes, sewer notes number 4, for clarification of check valve location.

2. Under water notes please re-word note 4 regarding that expansion of the work area is within

project property limits by 10' from adjacent property(s) to ensure retention of existing vegetation.

Please refer to sheet C-002 Notes, water notes number 4, for clarification of expansion of work area.

Sheet C-110 Subdivision Plan:

1. Note 11 mentions driveway construction for 50,000 lbs. fire truck. Plans need to indicate which driveways this applies to regardless of length.

Please refer to sheet C-110 Subdivision Plan, for clarification of emergency vehicle access.

Sheet C-120 Erosion & Sediment Control Plan:

1. What are Geo-technical engineer recommendations mentioned in note 4 of Construction Sequence? Include in plans if pertinent.

A geo-technical engineer shall be consulted if and only if areas of significant material fills were present on site, as designed no such areas are present on site.

Sheet C-130 Layout, Utilities & Landscaping Plan:

1. Label all proposed contours.

Please refer to sheet C-140 Grading & Drainage Plan, for updated contour labels.

2. Indicate proposed drainage swale end elevations at north and south ends adjacent to Marion Court property lines. Northerly channel needs a weir elevation to discharge.

Please refer to sheet C-140 Grading & Drainage Plan, for information on drainage swale elevations.

3. Where are the rain gardens previously discussed to receive roof drainage on each of the lots? Their storage value was intended to offset increases of impervious area from development in this sensitive area. The smallest lots could have smaller rain gardens.

Please refer to sheet C-140 Grading & Drainage Plan, for information on the rain gardens. Although interpreted as a practice that would be installed based on a per lot basis; vegetated rain gardens have been incorporated into the drawing set for the project.

4. Drainage of the property generally runs from west to east (Western towards Marion). There are no provisions for driveway culverts or consistent swales shown on the grading plans that allow runoff conveyance or avoidance or run-on drainage from one property to another except at lots 7 and 8.

Please refer to sheet C-140 Grading & Drainage Plan and sheet C-300 Driveway Cross Sections, as the addition of the individual best management practices aid in the mitigation of runoff conveyance to adjacent parcels. Site details highlight the minimal grading required to

address the abovementioned concerns.

5. During site walk-through provision of underground stormwater chambers were discussed near the end of swale on lot 1 to infiltrate some runoff. Please provide (4 sections) of 12" high PE chambers below ditch invert connected by grated vertical pipe 3" above bottom of swale.

Please refer to sheet C-140 Grading & Drainage Plan for the addition of the PE Chamber in the northerly swale.

6. Add notes to retain existing trees to provide screening and minimize area of disturbance. This applies to all lots.

Please refer to sheet C-130 Layout, Utilities & Landscaping Plan as such note already exists on plan set.

7. Widen out discharge end of eastern swale through lots 7 and 8. Contour 402 should be 20' wide at end on lot 8. We recommend mixing some wildflower seed mix with grass seed for this 20'x10' end area for providing an erosion resistant vegetated area at discharge.

Please refer to sheet C-140 Grading & Drainage Plan.

8. Provide screening shrubs/moderate sized trees/vegetation along driveways and houses on lots 1, 3, 4, 10, and 11 on the Western Ave. side. Provide screening with smaller species of conifers along driveways for lots 5, 6, 7 and 8 accessing WSP. Provide side yard trees for lots 5 to buffer new house location and add more than shown for lot 8. Screening for existing properties is important.

Please refer to sheet C-130 Layout, Utilities & Landscaping Plan.

9. Add a 45 degree bend at sewer manhole connection that directs discharge to outlet pipe as opposed to perpendicular to flow to reduce splatter and odors.

Please refer to sheet C-502 Utility Details.

10. Where are provisions of drainage for low area west of WSP driveways and connection to existing catch basin discussed during walk-through?

Please refer to sheet C-140 Grading & Drainage Plan for details of catch basin provisions.

Sheet C-140 Reserved for Site Plan & Profiles:

1. Provide detail of driveways showing crowned sub-grade, materials, depths, compaction and all needed to construct that supports a 50,000 lbs. fire truck.

Please see sheet C-300 Driveway Cross Sections.

2. Provide a profile of each driveway that considers drainage, culverts and conveyance of runoff. Show water and sewer laterals with appropriate cover as already detailed.

Please refer to sheet C-150 Plan & Profile for utility information within common access driveway.

3. Slope is minimal across central part of property and conveyance of drainage is a challenge. Consider shallow swales leading to multiple 8-10-inch driveway culverts under driveway grades.

Please see sheet C-300 Driveway Cross Sections.

Sheet C-500 Erosion & Sediment Control Details:

1. Where/what is seed mix A for detail 3?

NYS DOT Seed Mix A was not chosen for this application as it is tailored for general road-side usage, where seed Mix B is a mix of grasses formulated for Restorative/high-traffic areas, please see sheet C-500, detail 3 for more information.

2. For detail 7 (drainage swale) we recommend 1 vertical: 3 horizontal side-slope to less erodible than 1:2 shown.

Please see sheet C-500, detail 7 for revised side slope note.

3. Is there a more resilient grass seed mix than just rye grass that could be more heat and erosion resistant for detail 7?

NYS DOT Seed Mix A would work well in these low shade areas, please see sheet C-500, detail 7 for revised note.

Sheet C-501:

1. Add sanitary sewer force Main note 8 in detail 1 regarding minimum cover.

Note added to detail, please refer to sheet C-501, detail 1, note number 8.

2. Clarify intent of note 1 in detail 5 regarding lid 12" below grade.

This note contains a typo, please see revised note on sheet C-501 detail 5, note 1.

Sheet C-502:

1. For detail 2 (in-line flushing assembly) what is nature of insulated lid and ability to withstand wheel loads? What is R-value to keep the piping from freezing? Dimension component depths and depth of gravel.

This detail is directly from the e-one catalog, "boxes shall be constructed of ABS, conforming to ASTM-D 1788. Lid top casting shall be cast iron, conforming to ASTM A-48 Class 25,

providing magnetic detectability, and be painted black. The lid shall have the word "sewer" cast into it. All components shall be inherently corrosion-resistant to ensure durability in the ground". Dimensional requirements of components and gravel shall be in accordance with ASTM D 2321.

2. Consider ball valves in lieu of gate valves

Detail Number 2 has been revised to show use of ball valves instead of gate valves.

3. What is intended for cap?

Please see response to Comment Number 1, Sheet C-502

If you have any questions, or are in need of additional information, please feel free to contact me at 518-888-2852.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ro Andres', with a stylized, cursive script.

Ro Andres
Project Manager